

Maquoketa

MASTER PLAN

May 2016 | Downtown Placemaking and Adaptive Reuse



ACKNOWLEDGEMENTS

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Realtor Foundation of Iowa

Realtor Action Center

Parks to People – Grant Wood Loop

Vision 2020 and feedback from the engaged citizens of Maquoketa

[*THIS PLAN IS A LIVING DOCUMENT.*]

INTRODUCTION

For the past decade, Maquoketa has been very actively planning for the improvement of the downtown area. In October 2011, the community, led by the Maquoketa Area Chamber of Commerce, entered into a partnership with ISU Extension for a two-year project to develop the knowledge and insight of a local steering committee. At the time, this project was known as “Maquoketa’s Future Choices”, and is now referred to as Vision 2020. This process created a Vision Steering Committee to engage the community in developing a vision. After visioning was completed, the Steering Committee distilled the information collected into three main goals to guide Maquoketa’s future. These were: Revitalize the downtown area; 2) Support and grow existing businesses and industries, and work to attract new professionals; and 3) work to attract and expand new arts, recreation and tourism opportunities. Following the vision laid out during this process, several new partnerships were created to address the three goals. These included the Maquoketa Betterment Corporation (focusing on downtown revitalization), the Jackson County Economic Alliance and the Maquoketa Area Chamber of Commerce (focusing on business and workforce retention and expansion and tourism), and the Grant Wood Mississippi River Region and Maquoketa Art Experience (focusing on parks, recreation and culture). Each of these partners work in collaboration with the city of Maquoketa and Jackson County to successful plan for and implement projects that hold true to the spirit of Vision 2020.

Complementing and building on the shared vision laid forth by Vision 2020, the partners have focused on developing specific strategies to reach the three goals. Two of these major efforts include the Downtown Street Reconstruction and the Grant Wood Loop Master Plan. Each of these plans include analysis of its particular focus area, produce policy recommendations, and identify specific improvement projects. While the separate plans and their identified projects contribute to the revitalization of Maquoketa’s downtown, there is a need to combine them into a single document, which would then constitute a comprehensive plan for Downtown Maquoketa.

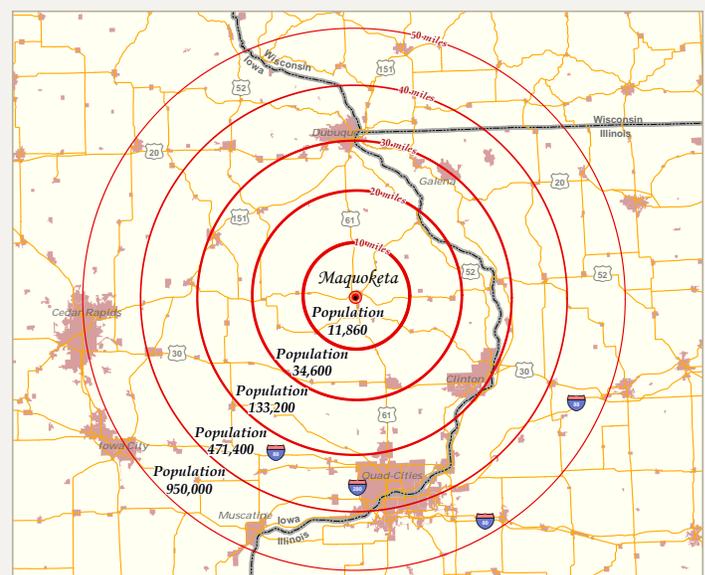
That is the purpose of the Downtown Placemaking & Adaptive Reuse Project – to summarize the key recommendations and projects from each of these separate planning documents, resolve any conflicts or inconsistencies, and illustrate the recommended projects on a single plan graphic. This graphic can then be used as the Downtown Plan to guide future improvement efforts.

Community Characteristics

Maquoketa is located in east central Iowa on highway 61, approximately equidistant from the Quad Cities (40 miles) and Dubuque (32 miles). It is 60 miles east of Cedar Rapids. Maquoketa is located in Jackson County on the Maquoketa River, from which the city took its name in 1844, after being platted under the name of Springfield in 1838. In these early days, growth was spurred by the extension of railroads to Maquoketa in 1873. The city experienced generally steady population growth through 1970, when the population leveled off at about 6,000. The 2000 census population of 6,112 increased slightly to 6,141 in 2010.

Maquoketa is surrounded by scenic natural beauty and a strong arts community. In addition to the Maquoketa River the community boasts many recreational facilities including Maquoketa Caves State Park, Prairie Creek Recreation Area, Hurstville Interpretive Center and Horseshoe Pond County Park. Cultural facilities include the Maquoketa Art Experience, the Ohnward Fine Arts Center and the Old City Hall Gallery.

Maquoketa is historically an agricultural town, but light industry and warehouse distribution have also provided jobs, as well as administrative and healthcare jobs provided by county seat facilities. The downtown is located at the intersection of Old U.S. Highway 61 and Iowa Highway 64. While the community benefits from Highway 61 traffic between the Quad Cities and Dubuque, that traffic is no longer routed through the downtown area but bypasses the community to the west.



Nearly 1 million people live within an hour of Maquoketa.



VISION 2020

Vision 2020 was a two-year planning project facilitated by Iowa State University, beginning in October 2011. A 24-member steering committee oversaw the process, which had the goal of developing a vision for Maquoketa's future. The Final Report, dated April 2014, included a community survey, an area economic analysis, a downtown business survey, and a downtown design charrette.

The adopted Vision 2020 Mission Statement is:

"Maquoketa will make a long-term investment to improve the quality of life, accessible to all, by bettering lives, jobs and education through:

1. *Supporting and growing existing businesses and industries, and working to attract new professionals to the community*
2. *Revitalizing the downtown area*
3. *Working to attract and expand new recreation, arts, and tourism opportunities."*

The Vision 2020's three top goals, with strategies, are:

A. Downtown Revitalization

Strategies:

- i. Reconstruction of streets, sidewalks, and public infrastructure
- ii. Work with property owners on implementing store front improvements and occupancy of buildings
- iii. Work with owner of Mitchell Maskery Building on redevelopment plan
- iv. Utilize green space as a gathering point for community events until space is redeveloped

B. Recreation, Arts & Tourism

Strategies:

- i. Develop master plan for expansion of recreational opportunities including an outdoor water facility.
- ii. Develop a master plan for the expansion of the trail system connecting existing assets.
- iii. Develop master plan for river front development
- iv. Make the arts a focal point of the community

C. Retain and Expand Existing Business and Industry, and Attract New Professionals to the Community

Strategies:

- i. Implement ongoing communication program (synchronist) with local business or industries to determine needs, concerns and opportunities.
- ii. Develop programs for assisting local business/ industries in attracting and retaining professionals
- iii. Identify categories of business/industry with great realistic economic potential for Maquoketa market

Mission:

To enhance, promote, sustain, and connect our region’s cultural, natural, and parks and other recreation assets.

Vision:

Our vision for the Grant Wood Mississippi River Region is that the residents of the region and the visiting public will... Engage. Reflect. Return. Whether you paddle, pedal, stride, ride or rest, our region has developed a national model of public-private partnership, inviting all to find their personal meaning and lasting memories with connections to:

- *Dramatic, timeless landscapes*
- *Inspiring parks and pathways*
- *Rivers, creeks and lakes*
- *Arts, culture and history*
- *Historic communities and places*
- *Local food and agriculture*
- *Interpretive, educational and recreational programs for all ages*

Strategic Directions:

- *Great Spaces, Great Experiences*
- *Connected Parks, People And Pathways*
- *Healthy Parks, Healthy People*
- *Community And Cultural Vitality*
- *Lasting Legacy*

GRANT WOOD LOOP MASTER PLAN

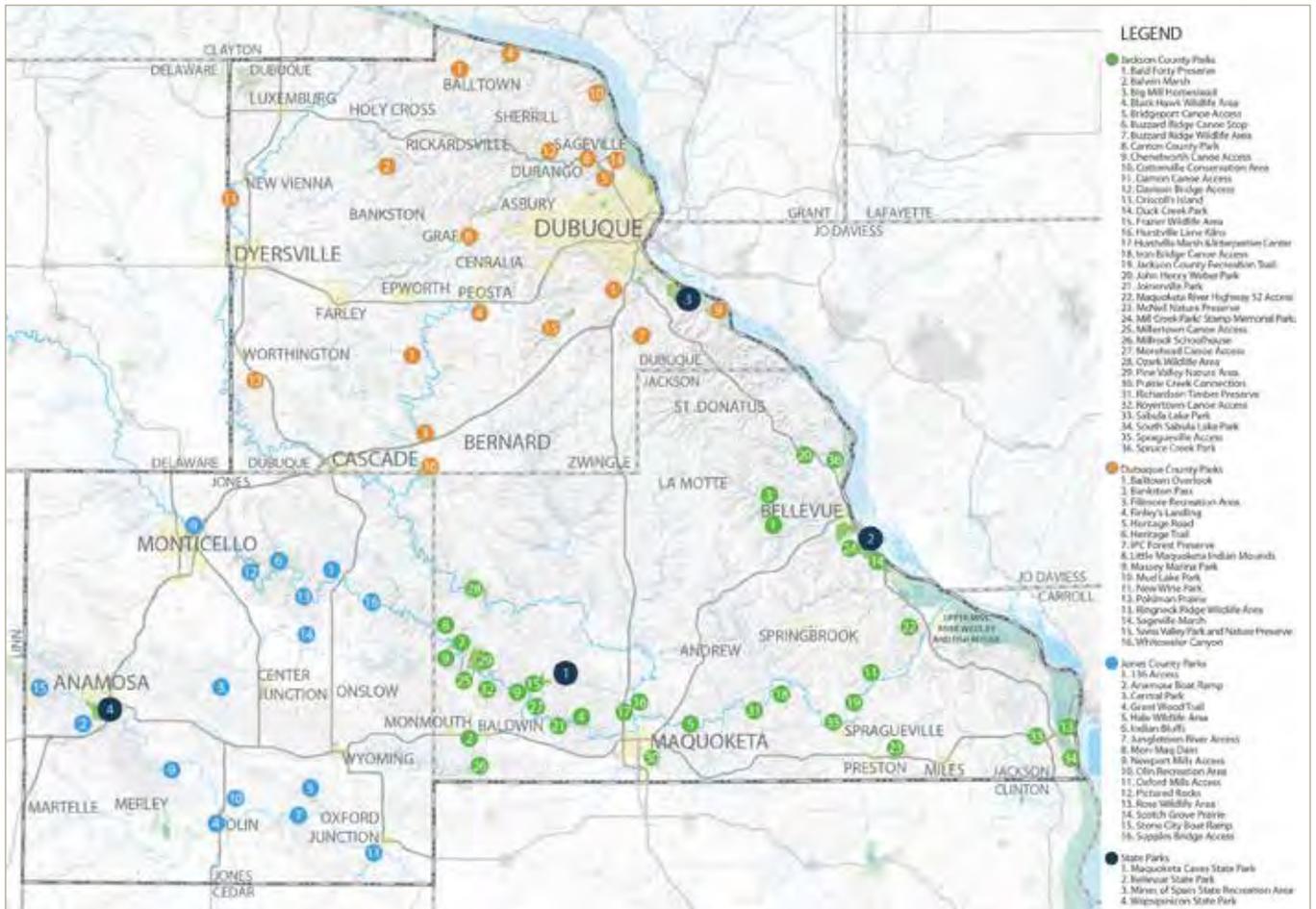
The Grant Wood Mississippi River Region (GWMRR) is a multi-jurisdictional, bi-partisan, public-private partnership intended to create exceptional places and experiences for Iowans and visitors alike. This collaboration, Iowa’s first Parks to People initiative, is working together to erase the boundaries and “enhance, promote, sustain, and connect” the region’s cultural, natural and park assets. The region encompasses the three-county area of Dubuque, Jackson and Jones County, known as the Grant Wood Loop.

The Grant Wood Loop Master Plan (GWLMP) is not a land use, operating, or capital improvement plan for any individual entity or facility. It is a roadmap and living document for collaboration toward a shared vision within the region to enact over the next 20 years. The plan includes five priority initiatives that were selected as the kick-off to implementation. One of these initiatives, Prairie Creek Connections aims to create an activity hub in the heart of the region by linking Prairie Creek Recreation Area, the city of Maquoketa, Hurstville Interpretive Center, Camp Shalom and Maquoketa Caves State Park.

Existing and new amenities along the pedestrian/bike route may include but are not limited to walking trails, picnic shelters, equestrian facilities, bike racks and wayfinding, as well as access to the Ohnward Fine Arts Center, Maquoketa Art Experience, Maquoketa YMCA, downtown Maquoketa businesses, and the baseball diamonds and tennis courts. This area will truly become a popular family getaway destination. The initiative includes development of Prairie Creek Recreation Area, enhanced bicycle routes within the city, a pedestrian bridge over the Maquoketa River, approximately 1.1 miles of trail to the Hurstville Interpretive Center, enhancements at the center, and amenities at Maquoketa Caves State Park. Future projects include continuation of the Hurstville Trail to Maquoketa Caves and development of a campground at Prairie Creek.



Closeup of Grant Wood Mississippi River Region Plan



Visual Summary of the Plan's Priority Initiatives



MAQUOKETA AREA GRANT WOOD LOOP PROJECTS

Trail to Hurstville Interpretive Center

The Hurstville Interpretive Center is home to Jackson County Conservation and serves as one of the region’s premier interpretive and learning centers within Eastern Iowa. Each year, thousands of school children and families participate in activities at the Center. Connecting the interpretive center to Maquoketa and Maquoketa Caves State Park will help encourage community members to walk or ride to the center and serve as an important link for cyclists within the region.



Maquoketa Caves Enhancements

The Prairie Creek Connections Initiative will provide additional amenities at Maquoketa Caves State Park, including installation of fire rings and interpretive signage. The larger goal of the initiatives includes extending the Hurstville Trail to the Caves.



Maquoketa River Pedestrian Bridge

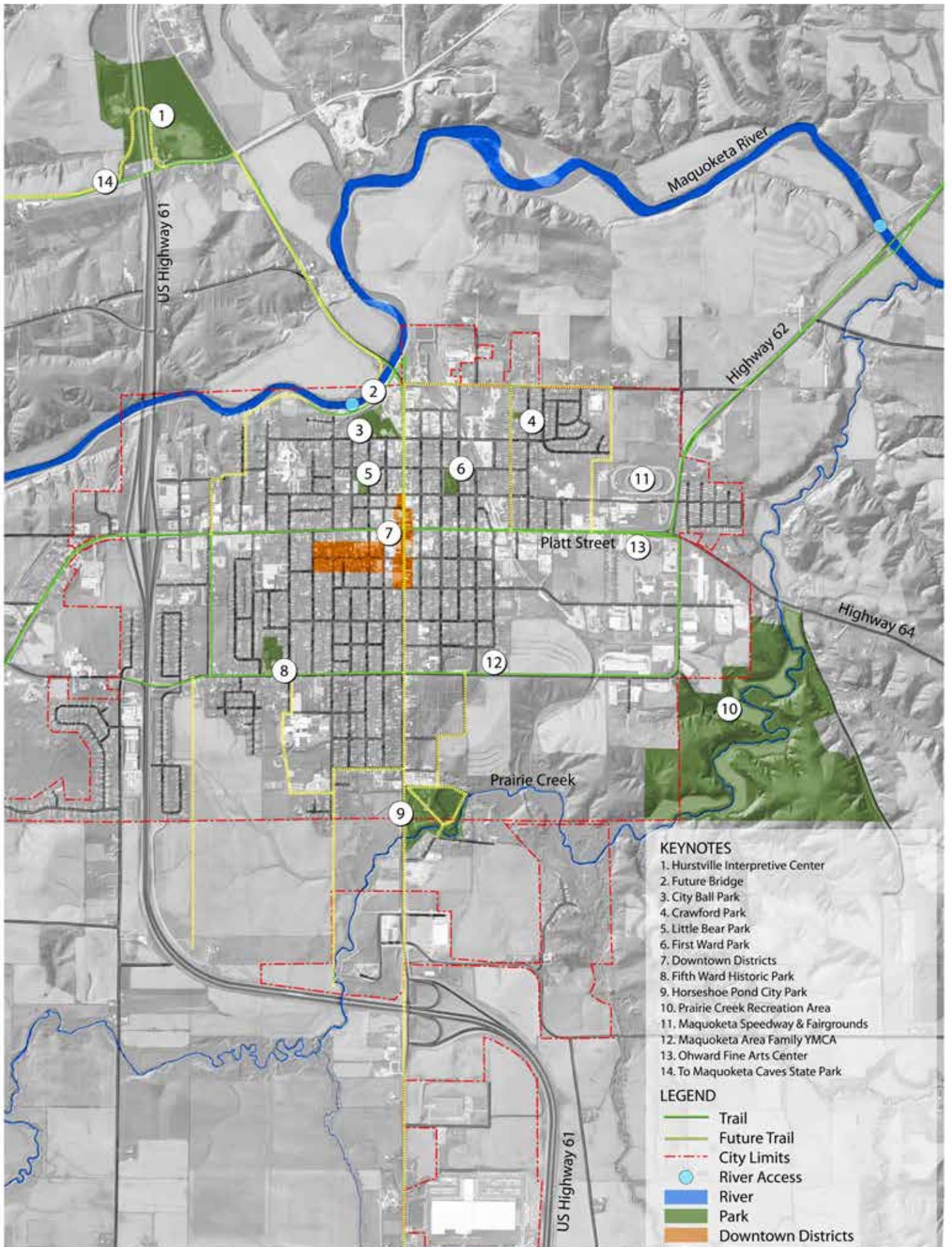
The Maquoketa River Pedestrian & Bicycle Bridge will provide a safe crossing at the Maquoketa River to connect the city of Maquoketa to the proposed Hurstville Trail. The bridge will be constructed on existing pilings, and will connect the Hurstville Interpretive Center via the proposed Hurstville Trail, the existing Maquoketa River Trail, and the Maquoketa baseball diamonds as part of the regional Parks to People initiative.



Prairie Creek Recreation Area

Prairie Creek Recreation Area is located southwest of Maquoketa’s city limits. In 2014, 273 acres were donated by Robert J. Martin to be used as a regional recreation area and public park. Planned improvements at the park include the development of a parking lot and extension of utilities, pond, fishing piers and a pavilion.





PARKS AND CULTURAL FEATURES

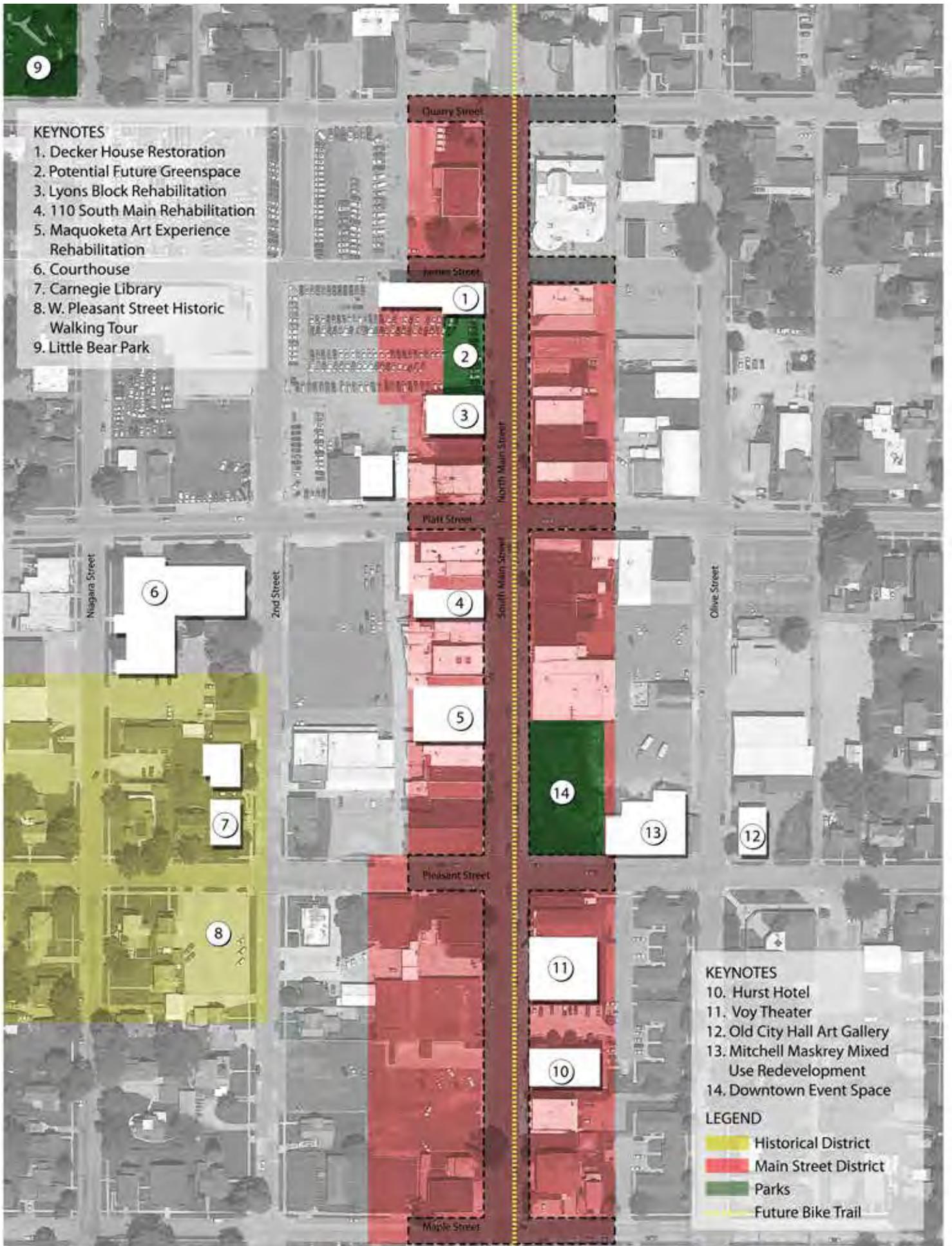
DOWNTOWN PLAN

The Downtown Plan includes a variety of projects, some privately-led and some led by the City. But each is a collaboration between the many partners working to create a more vibrant Maquoketa. These partners include:

- City of Maquoketa
- Jackson County Economic Alliance
- Grant Wood Mississippi River Region
- Jackson County Conservation
- Friends of Jackson County Conservation
- Maquoketa Art Experience
- Maquoketa Chamber of Commerce
- Maquoketa Industrial Development Assistance Service
- Timber City Development Corporation
- Maquoketa Historic Commission
- Jackson County Historic Commission
- Maquoketa Betterment Corporation

PROJECT SUMMARY

| Project | Type | 0-3 years | 3-10 years | Estimated Budget |
|---|---------------------------------|-----------|------------|------------------|
| MAIN STREET | | | | |
| 110 S Main | Renovation | x | | \$450,000 |
| 124 S Main Street Façade Rehabilitation | Renovation | | x | \$250,000 |
| Mitchell Maskery | Renovation | x | | 2,500,000 |
| THE DECKER BLOCK | | | | |
| The Decker House | Renovation | x | | \$1,900,000 |
| The Lyon Building | Renovation – Mixed-Use | | x | \$300,000 |
| Green Space | Renovation | x | | \$175,000 |
| DOWNTOWN PLACEMAKING | | | | |
| Planters and Light Poles | Streetscape | x | | \$400,000 |
| Downtown Event Space | Site Improvements | x | | \$150,000 |
| Public Address System | Sound System | x | | \$54,400 |
| Banners and Holiday Lights | Purchase Lights and Decorations | x | | \$30,000 |
| Wayfinding | Signage | x | | \$150,000 |
| Functional Art | Bike Racks, etc. | x | | \$35,000 |
| HISTORIC TOUR | | | | |
| West Pleasant | Kiosk, Plaques, Phone tour | x | | \$55,000 |
| Downtown Historic District | Survey & Nomination | x | | \$12,000 |
| TRAILS | | | | |
| Maquoketa River Ped Bridge | | x | | \$450,000 |
| Hurstville Trail | | x | | \$675,000 |



DOWNTOWN PLAN



110 S Main

The building at 110 S Main has been vacant for years, previously used for a screen print business, and needs significant repairs to make the space usable. In August 2015, Betterment acquired the building with the intent of rehabilitating the property in order to make it move-in ready for a downtown business.



The Decker House

The Decker House is an Italianate structure built in 1875 by James Decker with the assistance of a New York architect. This was the largest and finest of hotels built in Maquoketa in the year immediately following the arrival of the railroads and the city’s designation as the county seat.

Betterment’s intent is to fully renovate the building, modernizing the first floor restaurant and the upper story suites, while keeping true to the original design and decor. Future plans include the addition of outdoor seating and off-street parking.



The Lyon Building

The majestic Lyon Building, located at 112-116 N Main, was built in 1900 and is on the National Register of Historic Places. The two story building has 5,100 s.f. of total space and was a popular teen center and dance hall in the late 30’s and 40’s. Betterment’s intent for this building is to remodel the upstairs dance floor into two spacious apartments with an elevator and separate entrances.

The lower three bays would be remodeled into three updated and connected storefronts, with the northern most as a potential coffee shop with drive through. Plans for the third bay, connected to Rasmussen Commons, include a bicycle retail, rental and repair shop. The facade would be restored to Art Deco design.



124 S Main Street Façade Rehabilitation

The building at 124 S Main Street house the Maquoketa Art Experience (MAE), Maquoketa Area Chamber of Commerce and serves as the Maquoketa Welcome Center. MAE is a non-profit organization established in 2008 dedicated to arts education, fostering the arts and building community by engaging the residents of Maquoketa and surrounding areas in diverse creative activities. This project would look at restoring the historic façade and windows and installing signage for the Maquoketa Chamber.



Downtown Event Space

The plan for this vacant lot, the location of the 2008 downtown fire, is to develop the site into a semi-permanent event space to host community events and concerts, and to create an outdoor gathering space with benches, landscaping and public art.



Public Address System

This system, replacing the original destroyed by the 2008 fire, will consist of 33 speakers and a command module located in the Chamber office with remote passcode access for emergency personnel. The system will also be flexible enough to allow for use as a general sound system.



Banners & Holiday Lights

As part of the beautification of downtown, the community is looking to install lightpole banners and holiday lights after the completion of the City’s streetscaping project. Design of the banners will be completed utilizing local artists.



W Pleasant Historic Tour

The historic walking tour will feature 22 nationally recognized historic homes in Maquoketa’s West Pleasant Street Historic District, just one block southwest of downtown. The tour will cover a two-mile route with an informational kiosk, 22 historic plaques, and smart phone activated tour.



Wayfinding

As part of the beautification of downtown, the community has worked with the Vision 2020 Downtown group and a sign consultant to develop wayfinding policies and design for the downtown and beyond. A full compliment of signs would included 41 wayfinding, as well as bike route signage.



Planters and Light Poles

As a compliment to the city's \$4+ million street reconstruction, the city is installing various streetscaping elements to enhance the public space downtown including 33 decorative light poles, six concrete planters and benches, additional landscaping and masonry framing. In addition, the partners are working with business owners to install portable planters for storefronts.



Functional Art

The City is working with the Maquoketa High School Creative Welding class to design and install functional art - bike racks, planters, benches, trash receptacles, etc. The students will work with the Streets Committee and local artists to determine the design, number and placement of these streetscaping elements.



Mitchell-Maskrey Mill Redevelopment

The Mitchell-Maskrey Mill is a three story brick building built in 1886 as a flouring mill and is listed on the National Registry of Historic Places. Edward Maskrey purchased the site from the Methodist Church. He first began his milling work in that church and built the current structure around the church building, with the mill continuing in operation throughout construction. The building has been under continuous use as a mill ever since. As the current owner is looking to expand his mill business elsewhere, the building's legacy as mill is coming to an end. The Mitchell Maskrey building is an anchor to Maquoketa's downtown district. The history of milling is woven into the culture of Maquoketa, as it is the physical fabric of the community.

The intended adaptive reuse of this historic building and site is a mixed commercial and residential development. While preserving the historic fabric of the building, development of the upper two stories for residential use and the lower levels as commercial space. The adaptive reuse of the Mitchell Maskrey building preserves a 150 year old landmark, and begins a new life for it in downtown Maquoketa.

DOWNTOWN INCENTIVE PROGRAMS

FAÇADE GRANT PROGRAM

Available to owners and leaseholders for exterior façade renovations in the Downtown Business District including painting, signage improvement, awnings, windows, masonry repair (including tuck-pointing), and lighting. Maximum grant award per building is \$5,000 (\$10,000 max. for buildings with multiple frontages). Applicant must match each grant dollar one to one.

Administered by Maquoketa Betterment Corporation

COMMERCIAL INTERIOR GRANT PROGRAM

This program is established to assist property owners to expand or remodel commercial space in the downtown business district. The grant, which pays one-third of the costs (not to exceed \$10,000) associated with approved interior renovations, covers a variety of interior improvements from the installation of permanent fixtures to the preservation of historic elements appropriate to the building’s interior design, such as pressed metal ceilings.

Administered by Maquoketa Betterment Corporation

BLADE SIGN GRANT PROGRAM

This program will pay one-half of the costs (not to exceed \$1,000 of grant funds) associated with approved signage to assist businesses to add or replace signs in the downtown business district.

Administered by Maquoketa Betterment Corporation

CONSULTANT GRANT PROGRAM

This program is established to assist business owners to develop a storefront in the community’s downtown business district. A grant, of up to \$5,000, will reimburse the business or property owner for up to one-half the costs associated with consulting services (design, financial feasibility, marketing, etc.).

Administered by MIDAS

ACQUISITION PROGRAM

This program is designed to assist business owners to acquire a storefront in the community’s downtown business district. A grant, of up to \$5,000, will reimburse the buyer for the selling costs associated with the property purchase.

Administered by MIDAS

IMPROVEMENT LOAN FUND - MAQUOKETA

This loan program is designed to renovate or improve existing commercial building structures in the downtown area, including apartments above retail stores. The maximum loan amount is \$10,000 per commercial structure, with an interest rate of 0% for up to a 5 year term. Minimum of 25% match on the loan amount is required by the applicant. This loan program cannot be used to match other financing programs offered by the City of Maquoketa, MIDAS or Maquoketa Betterment Corporation.

Administered by the City of Maquoketa

COMMERCIAL BUILDING IMPROVEMENT LOAN FUND

This program is a loan fund that is directed to make improvements to commercial buildings anywhere within the City of Maquoketa. Renovation or improvements of existing commercial building structures, but not for commercial apartment buildings nor for direct use on accessory dwelling units located within commercial buildings, such as apartments above retail stores. Maximum loan amount is \$10,000 per commercial structure at 0% for a five year term.

Administered by MIDAS

JACKSON COUNTY DOWNTOWN LOW INTEREST LOAN PROGRAM - JCEA

This program is available in any downtown district in Jackson County. The maximum loan will be \$250,000 per project with a minimum loan amount of \$5,000. The loans have a 3% interest rate for a term of five years. Projects eligible for this program include façade and/or interior renovation, upper story renovation, additions, new construction, leasehold improvements, and/or acquisition of commercial property.

Administered by Jackson County Economic Alliance



POTENTIAL FUNDING SOURCES

In order to implement many of the objectives described in this Master Plan, the partners will need to consider outside funding sources. The table below presents possible funding sources available for projects recommended in this plan. This list is not exhaustive and should be reviewed and modified each fiscal year.

The table below uses the following acronyms: Department of Natural Resources - DNR ; Federal Department of Housing and Urban Development - HUD ; Iowa Economic Development Authority - IEDA ; Iowa Department of Transportation - IDOT ; United States Environmental Protection Agency – EPA.

Potential Funding Sources

| Source and Administrator | Description | Possible Uses |
|--|--|--|
| Federal Transportation Enhancement Program; IDOT through Regional Planning Affiliate (RPA8) | Funding for enhancement or preservation activities of transportation related projects. | The following projects are funded: facilities for pedestrians and bicyclists; safety and educational activities for pedestrians and bicyclists; scenic or historic highway programs; acquisition of scenic or historic sites; landscaping and scenic beautification; historic preservation; rehabilitation and operation of historic transportation facilities; preservation of abandoned railway corridors; control and removal or outdoor advertising; archaeological planning and research; mitigation of water pollution due to highway runoff; or transportation museums. |
| Recreational Trails Program (Federal) | Funding for creation and maintenance of motorized and non-motorized recreational trails and trail related projects. | Recreational trail extension. |
| Recreational Trails Program (State); IDOT | Funding for public recreational trails. | Trail projects that are part of a local, area-wide, regional, or statewide trail plan. |
| Housing Fund (HOME); IEDA, Iowa Finance Authority | Funds to develop and support affordable housing. | Rehabilitation of rental and owner-occupied homes; new construction of rental housing; assistance to home buyers; assistance to tenants; administrative costs. HOME funds may be used in conjunction with Section 42 Low Income Housing Tax Credits. They may also be used for innovative project approaches, such as rent-to-own development. |
| Iowa Clean Air Attainment Program (ICAAP); IDOT | Funding for highway/street, transit, bicycle/pedestrian or freight projects or programs which help maintain Iowa’s clean air quality by reducing transportation related emissions. | Projects which will reduce vehicle miles traveled or single-occupant vehicle trips; Transportation improvements to improve air quality. |

| Deadline | Available Funds | Required Match |
|---|---|--------------------------------|
| Typically October 1 for statewide applications; Check with RPA for deadlines. | Dependent on allocation as part of reauthorization of MAP-21. Funding has historically been \$4.5 million annually statewide. Funds available vary by region. | Varies by region; Contact RPA. |
| Typically October 1 | Varies each year | 20% |
| Typically July 1 | Varies each year | 25% |
| Varies - Usually January | Varies annually | NA |
| Typically October 1 | Approximately \$4 million annually; Minimum \$20,000 total project cost | 20% |

Potential Funding Sources

| Source and Administrator | Description | Possible Uses |
|---|---|---|
| Land and Water Conservation Fund; Iowa DNR | Federal funding for outdoor recreation area development and acquisition. | Improvements to existing recreation facilities and development of new facilities. |
| Pedestrian Curb Ramp Construction; IDOT | To assist cities in complying with the Americans with Disabilities Action primary roads. | Construct curb ramps to ADA standards. |
| Historical Resource Development Program; State Historical Society of Iowa | Assists with enhancement of local historical resources | Acquisition and development of historical resources; preservation and conservation of historical resources; interpretation of historical resources; professional training and educational programs regarding any of the above |
| State Historic Preservation and Cultural and Entertainment District Tax Credit Program; State Historical Society of Iowa | State income tax credit for the sensitive, substantial rehabilitation of historic buildings. | Used for any rehabilitation work (interior and/or exterior). |
| General Obligation Bonds | Allows the City to secure funding by pledging future tax revenues to repay the bond. | Capital improvements, such as street projects |
| Resource Enhancement and Protection (REAP); Iowa DNR | Funding for projects that enhance and protect natural and cultural resources. Grants available in categories such as: City Parks and Open Space, County Conservation and Roadside Vegetation. | Parkland expansion, multi-purpose recreation developments, management of roadside vegetation. |
| Section 42 Low Income Housing Tax Credit; HUD | Tax credits for affordable housing developers through the State. Developments can utilize either a 4% or 9% credit, depending on the mix of low-income residents. | Multi-family housing development for low and moderate-income families. |
| Self-Supported Municipal Improvement District (SSMID); Local Business/Downtown Association | Contributions by business owners used for various business district enhancements. | Physical improvements to business district, upper-story restoration of downtown buildings. |
| Surface Transportation Program (STP); BSC | Funding for road or bridge projects on the federal aid system. | Road or bridge projects. Trails improvements. Bicycle facilities. |

| Deadline | Available Funds | Required Match |
|--|--|---|
| March 15, or closest working day | Varies annually | 50% |
| Accepted all year | Maximum of \$250,000 per city per year | 45% |
| Typically Spring | \$50,000 maximum request recommended (up to \$100,000 permissible) | For government and non-profit entities - \$0.50 match per \$1 requested |
| Accepted year round. | Up to 25% of qualified rehabilitation expenditures. | None |
| NA | Varies | NA |
| Varies by grant category | Varies; authorized for up to \$20 million annually until 2021 | Varies by grant category; many require no match |
| NA | NA | NA |
| NA | NA | NA |
| Maquoketa gets annual suballocation through the RPA. | NA | Check with BSC |

Potential Funding Sources

| Source and Administrator | Description | Possible Uses |
|--|---|--|
| Urban Revitalization | Reduction or elimination of property taxes for set period of time on new improvements to property granted as an incentive to do such projects. | Available for commercial, industrial, or residential developments. |
| Tax Increment Financing (TIF); City of Maquoketa | Use added property tax revenues created by growth and development to finance improvements within the boundaries of a redevelopment district. | New residential, commercial, or industrial developments, including public improvement, land acquisition, and some development costs. |
| Traffic Safety Improvement Program (TSIP); IDOT | Traffic safety improvements or studies on any public road. | Traffic safety and operations at specific site with an accident history. New traffic control devices. Research, studies or public information initiatives. |
| Federal Transportation Bill, Federal Highway Administration, through BSC | Federal transportation funding, including matching grants for major street improvements, enhancements funding for corridor design, streetscape, trail development, and transit. | Improvements to arterial and major collector streets and trail development. |
| Community Attraction and Tourism – Vision Iowa- IEDA | To assist projects that will provide recreational, cultural, entertainment and educational attractions. | Packaged amenities and connections to existing tourist attractions |
| Iowa Great Places – Cultural Affairs | Supports the development of new and existing infrastructure intended to cultivate the unique qualities of neighborhoods, communities and regions in Iowa. | Streetscape, façade repair, community spaces |
| Iowa Arts Council Grants – Cultural Affairs | To support the creation and presentation of new artwork, development of an arts experience or formation of an arts education program | Functional art; event space art; other community art projects |
| Certified Local Government Grant Program; State Historical Society of Iowa | To support historic preservation activities | Downtown and West Pleasant Street Historic Districts; Decker House |
| Housing Trust Fund - Eastern Iowa Regional Housing Corporation | To assist in the provision of providing decent, safe and affordable housing. Development , rehabilitation and repair on owner-occupied and rental housing. Grant or loan depending on income level. | Upper story housing rehab |

| Deadline | Available Funds | Required Match |
|---|--|----------------------|
| NA | NA | NA |
| NA | NA | NA |
| Typically summer | \$500,000 maximum per project (Total available annually: 0.5% of Road Use Tax Fund, Approximately \$6 million) | No |
| TBD | TBD | TBD |
| October 1; often times other deadlines throughout the year | \$2.6 million available 5.12.16. | 1:1 |
| LOI usually due in May, full application (by invitation) due in June. | \$1,000,000 annually; communities can apply for \$15,000- \$400,000; can only apply for three years of funding after designation | 50% of grant request |
| Usually May and November rounds | \$1,000 to \$10,000 grants | At least 1:1 |
| Usually in the spring | Up to \$15,000 | NA |
| Usually August | Up to \$25,000 per unit. | 25% |

Potential Funding Sources

| Source and Administrator | Description | Possible Uses |
|---|--|---|
| CDBG Downtown Revitalization Fund - IEDA | Façade repair in downtowns that meet HUD/CDBG national objective of slum and blight. | Façade repair |
| Federal Historic Preservation Tax Credits | Federal income tax credit for the sensitive, substantial rehabilitation of historic buildings. | Used for any rehabilitation work (interior and/or exterior). |
| Workforce Housing Tax Credits | Tax credit incentive for the rehabilitation of a building for multiple residential units. | At least two upper story residential units. |
| Brownfield/Grayfield Redevelopment Tax Credit - IEDA | Tax credit incentive for the rehabilitation of dilapidated/ underutilized commercial properties with environmental concerns or one | Dilapidated/hazardous buildings and other redevelopment sites |
| Brownfields Program – Iowa DNR | Cost reimbursement for Phase I, asbestos/lead inspection; free Phase II services; 50% reimbursement for environmental cleanup | Dilapidated/hazardous buildings and other redevelopment sites |
| Nuisance Property & Abandoned Building Remediation – IEDA | Financial assistance (in the form of a loan) to remediate nuisance buildings and structures | Dilapidated buildings |
| CDBG Community Facilities and Services- IEDA | Assists communities for a variety of projects including day care facilities, senior centers, vocational workshops, and other community services | |
| Rural Development Community Facilities – USDA | Provides loans and grants to assist in the development of essential community facilities in rural areas. Funds can be used to purchase, construct, and / or improve essential community facilities, purchase equipment and pay related project expenses. | Community centers, public services, safety, educational facilities, healthcare facilities |

| Deadline | Available Funds | Required Match |
|---|--|---|
| Usually February | Maximum grant award is \$500,000 | A required match amount is not specified, but communities with better community financial support have a better opportunity of being funded. A one-to-one match will provide a strong application to reviewers. |
| Accepted year round. | Up to 20% of qualified rehabilitation expenditures. | None |
| Accepted on a continuous, first-come, first-served basis. | Maximum \$1,000,000 (Up to 10% of the investment directly related to the rehabilitation of the housing.) | None |
| September 1 | Up to 30%, up to \$1,000,000 per project; up to \$10,000,000 each fiscal year. | None |
| Rolling | Varies (up to \$25,000 each for investigation and cleanup) | 50% for cleanups |
| Rolling | Loan – no maximum or minimum set; interest rate of 1-3% | NA |
| January | Up to \$600,000 | |
| Rolling | Generally no more than \$25,000 | 25% |

Potential Funding Sources

| Source and Administrator | Description | Possible Uses |
|--|--|---|
| Rural Business Development Grant – USDA | Supports targeted technical assistance, training and other activities leading to the development or expansion of small and emerging private businesses in rural areas that have fewer than 50 employees. | Downtown business expansion |
| National Endowment for the Arts | Several grant programs that foster art and culture – Challenge America, ArtWORKS, and OurTown | Creative placemaking, community art |
| Public Works Program – EDA | Provides resources to meet construction and design of infrastructure essential to economic development | Workforce facilities; shipping/logistics; business incubators; telecommunications |
| Local Technical Assistance Program – EDA | Provides funding to undertake and promote effective economic development programs through projects such as feasibility studies and impact analysis | Planning/feasibility |
| Community Foundation of Jackson County | Funding Priorities: Capital Campaigns, Community Development, Diversity, Education, Family Development, Fine Arts, Health, Historical Projects, Human Services, Environment, Wellness Projects, Youth Programs | |
| Other Private Funders | Additional private foundations and corporate giving programs are available for a variety of projects | Varies |

| Deadline | Available Funds | Required Match |
|--|--|----------------|
| Usually June | \$10,000 to \$500,000. Smaller projects receive priority | |
| Varies | Varies | Varies |
| Rolling – Discuss with ECIA (project must meet CEDS goals) | \$100,000-\$3,000,000 | |
| Rolling – Discuss with ECIA (project must meet CEDS goals) | \$300,000 | |
| May and November Rounds | Generally less than \$10,000 | NA |
| Varies | Varies | Varies |

APPENDIX

Downtown Streetscape Plan



- Street Lights
- Fire Hydrant
- Planters/Bench
- Trash Receptacle
- Bicycle Rack



APPENDIX

Maquoketa River Pedestrian Bridge

iiw



The Copper Creek Trail pedestrian bridge (located in Jackson County) is an example of a potential design for the Maquoketa River Pedestrian Bridge.

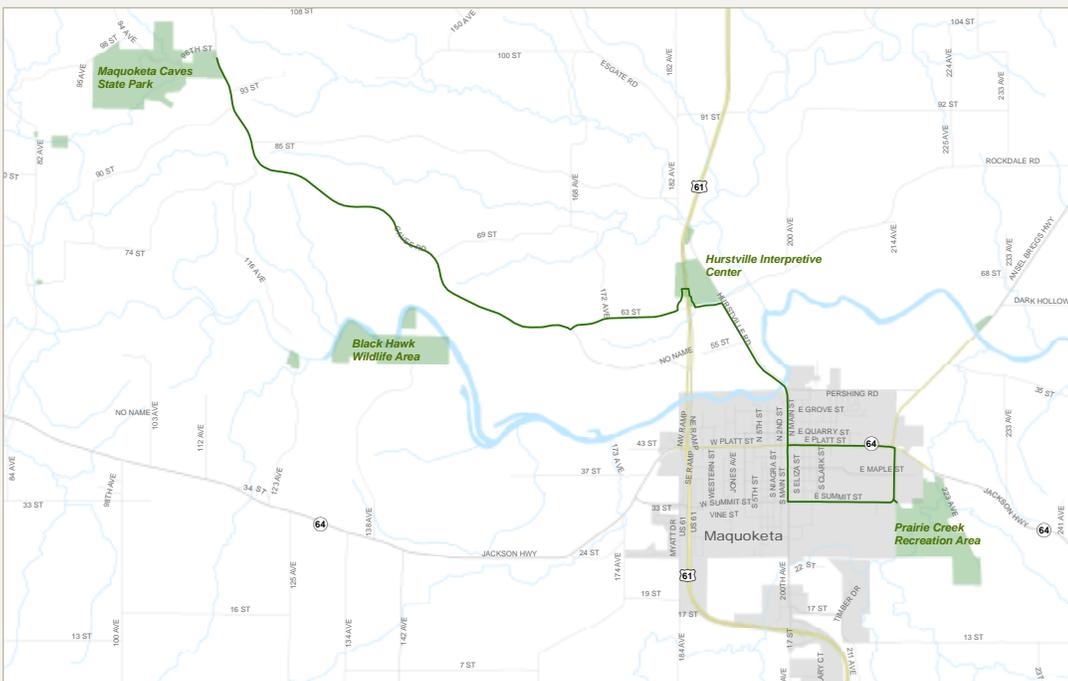
APPENDIX

Trail Maps

Maquoketa Hurstville Trail

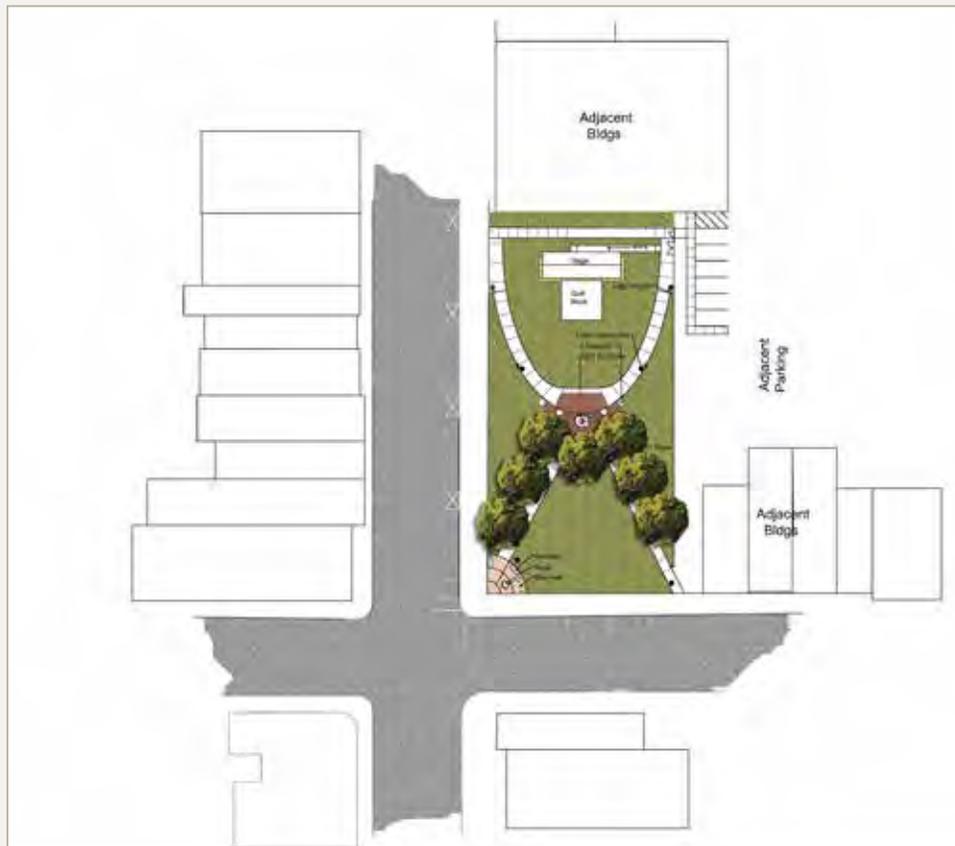


Prairie Creek Connections (Proposed Route)



APPENDIX

Event Space Layout



APPENDIX

Decker Hotel - East Elevation



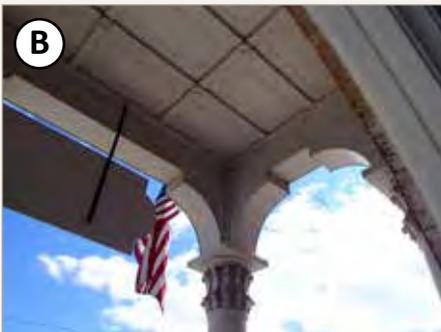
Remove paint from approximately 100 square feet of masonry.



Clean and paint 13 window hoods.



Repoint limestone foundation.



Paint portico to prevent further water damage.



Remove white residue on clay masonry.



Repoint limestone in areaway; repair treads and risers.



Clean and remove paint from 13 stone sills.



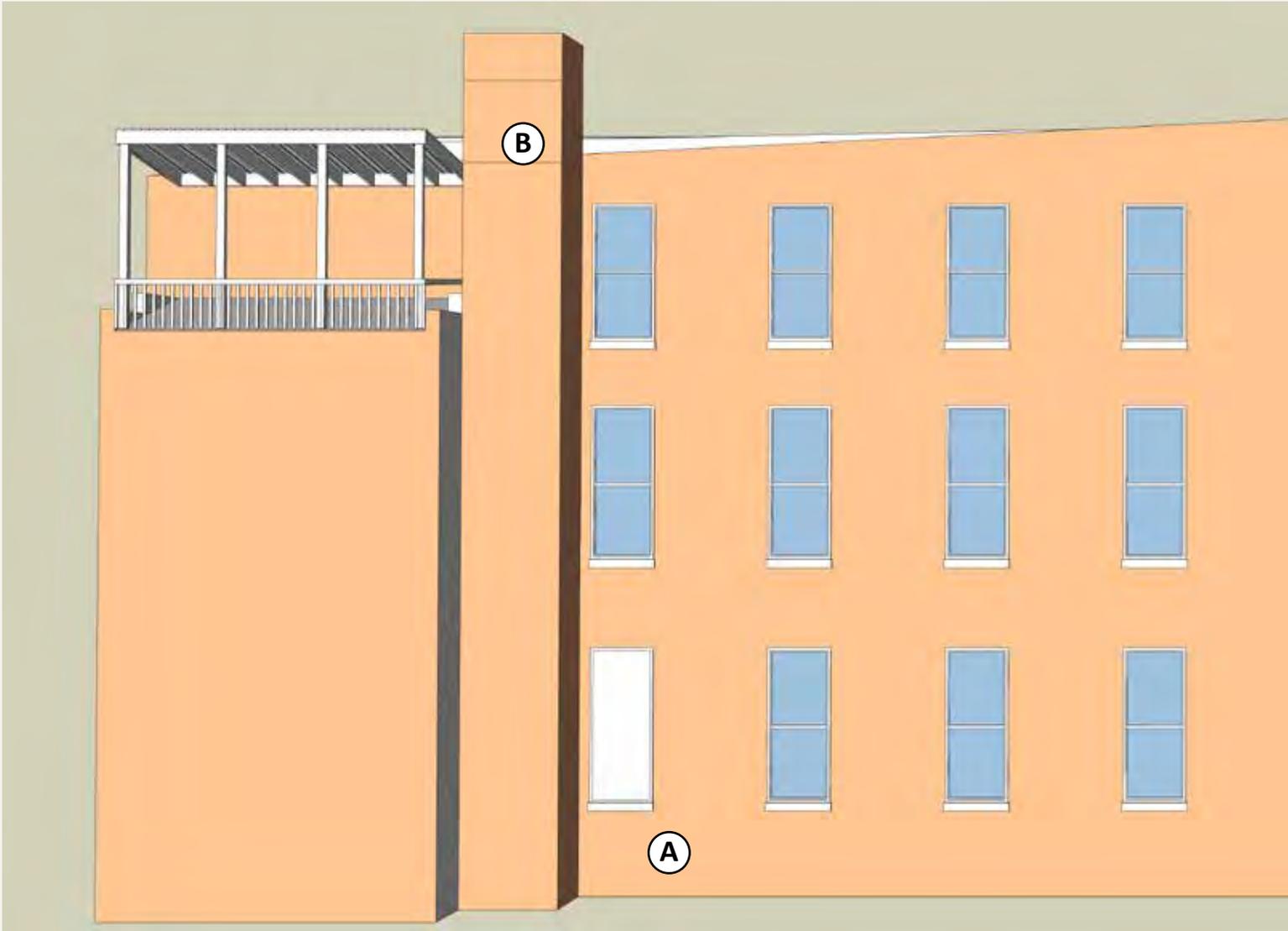
Existing conditions - East Elevation.

LOCATIONS OF PROPOSED WORK



APPENDIX

Decker Hotel - South Elevation



Repair approximately 300 square feet of parge coating.

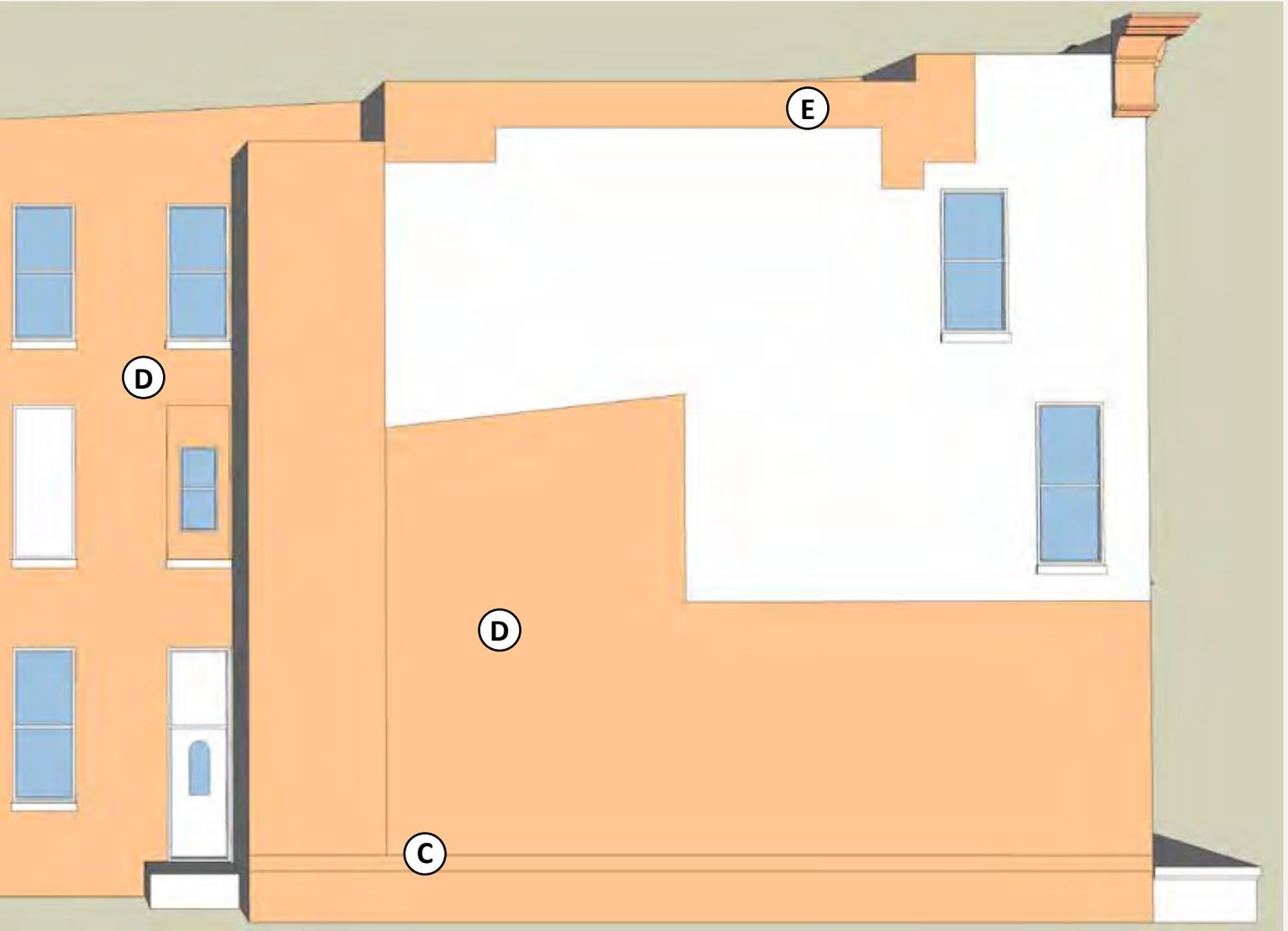


Repoint approximately 20 square feet of masonry at chimney; replace approximately 30 square feet of masonry throughout.

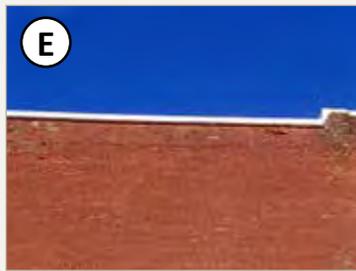


Replace approximately 50 square feet of masonry (4 courses of masonry above foundation). Install weeps to provide proper drainage.

LOCATIONS OF PROPOSED WORK



Paint approximately 4800 square feet of previously painted masonry and parge coating.



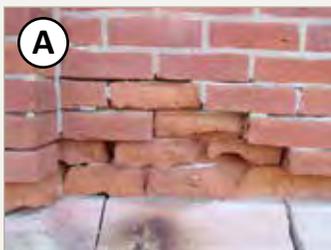
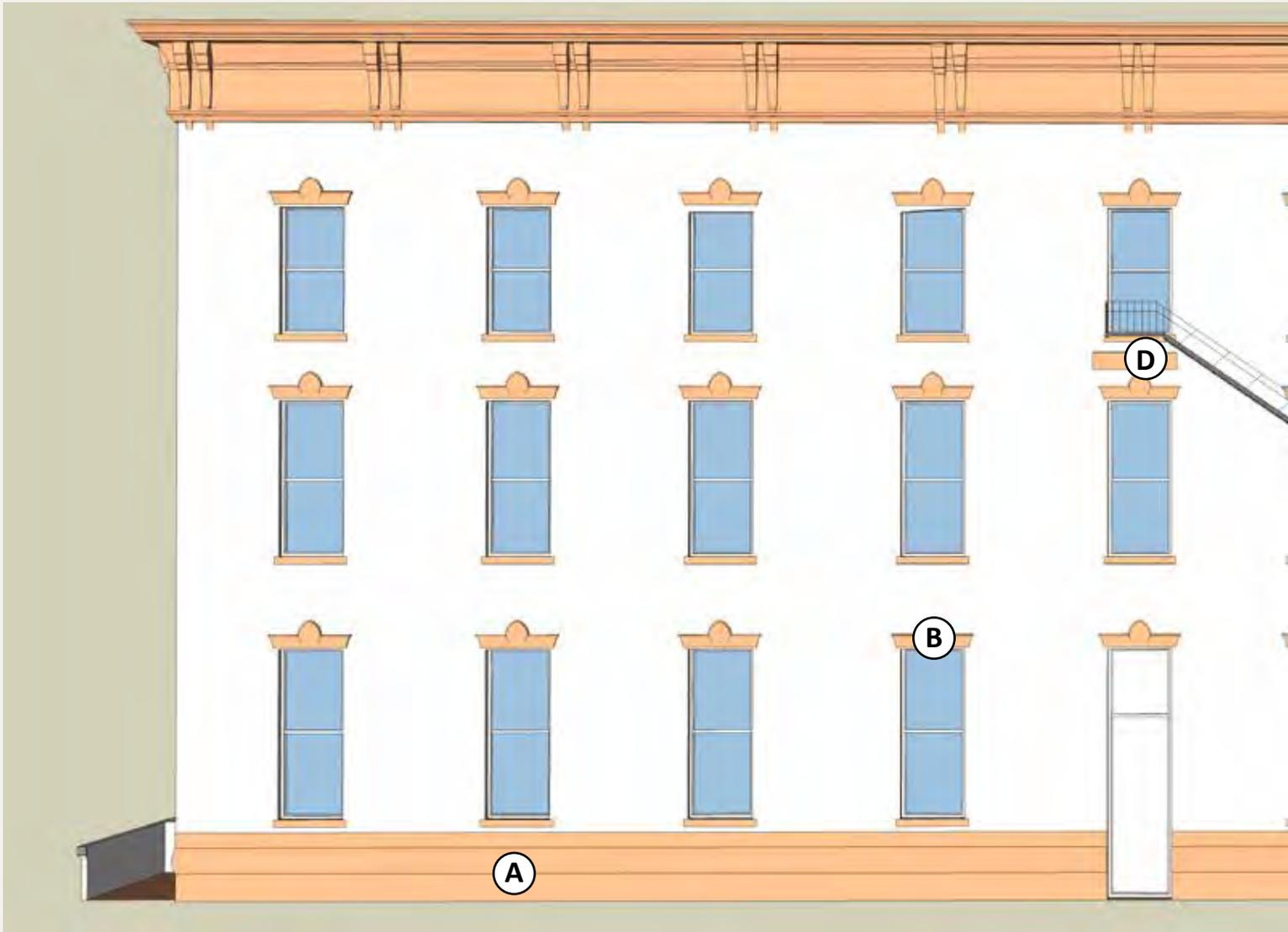
Repoint approximately 100 square feet of masonry at parapet; replace approximately 20 square feet.



Existing conditions south elevation.

APPENDIX

Decker Hotel - North Elevation



Replace approximately 140 square feet of masonry on the north elevation.



Repair 6 window hoods; paint 31.

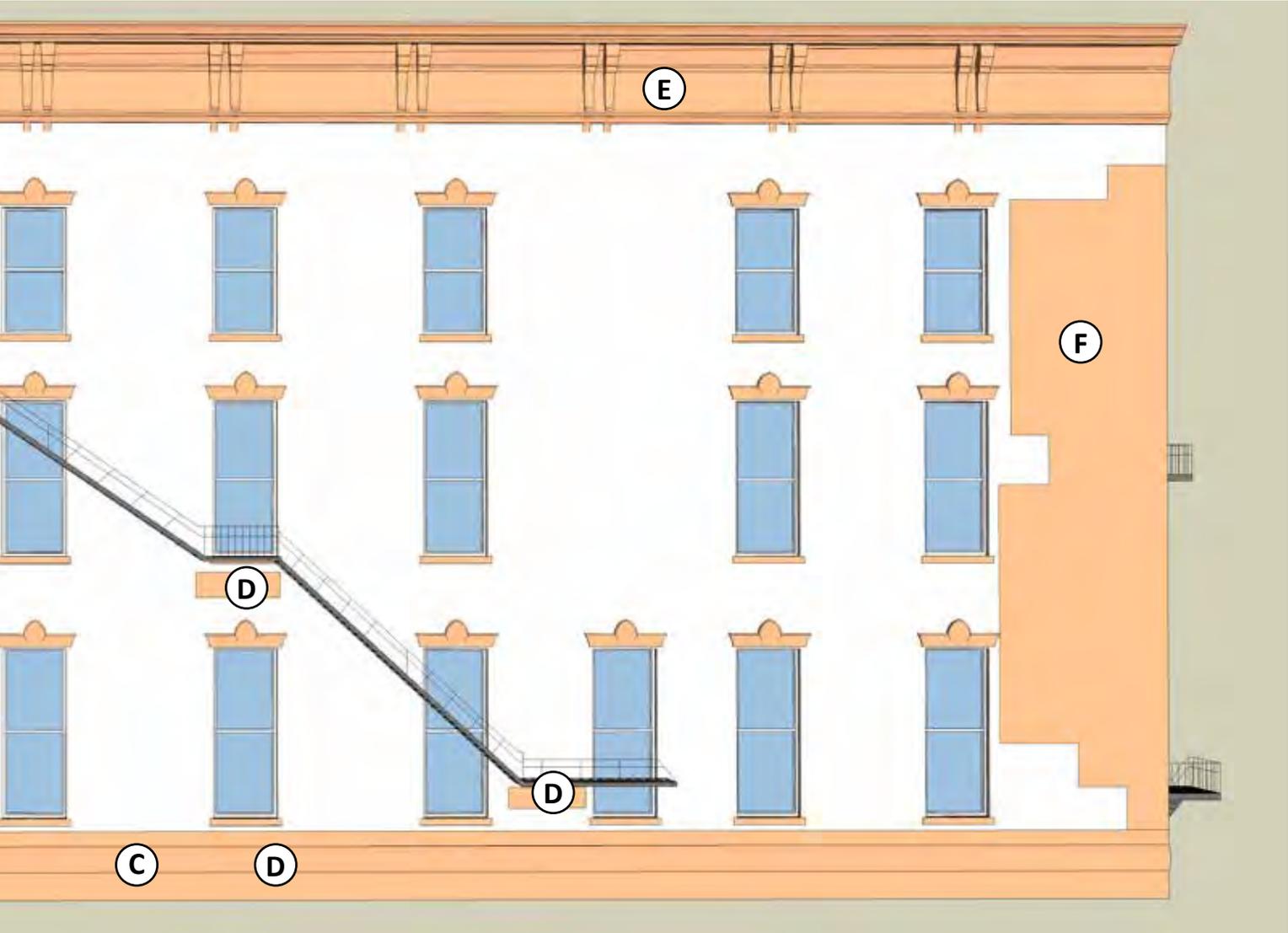


Repoint approximately 560 square feet of masonry, including limestone foundation.



Clean approximately 700 square feet of masonry, including limestone foundation.

LOCATIONS OF PROPOSED WORK



Paint cornice.



Remove vines from masonry.



Existing conditions north elevation.

This plan was made possible through the generosity of the following:



MAQUOKETA BETTERMENT CORPORATION

In association with:

